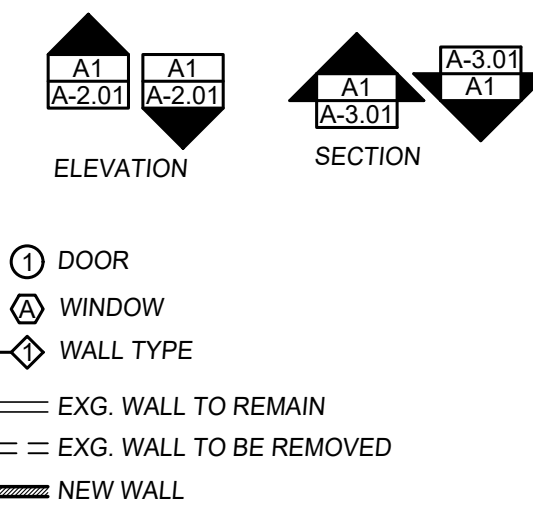


SYMBOLS



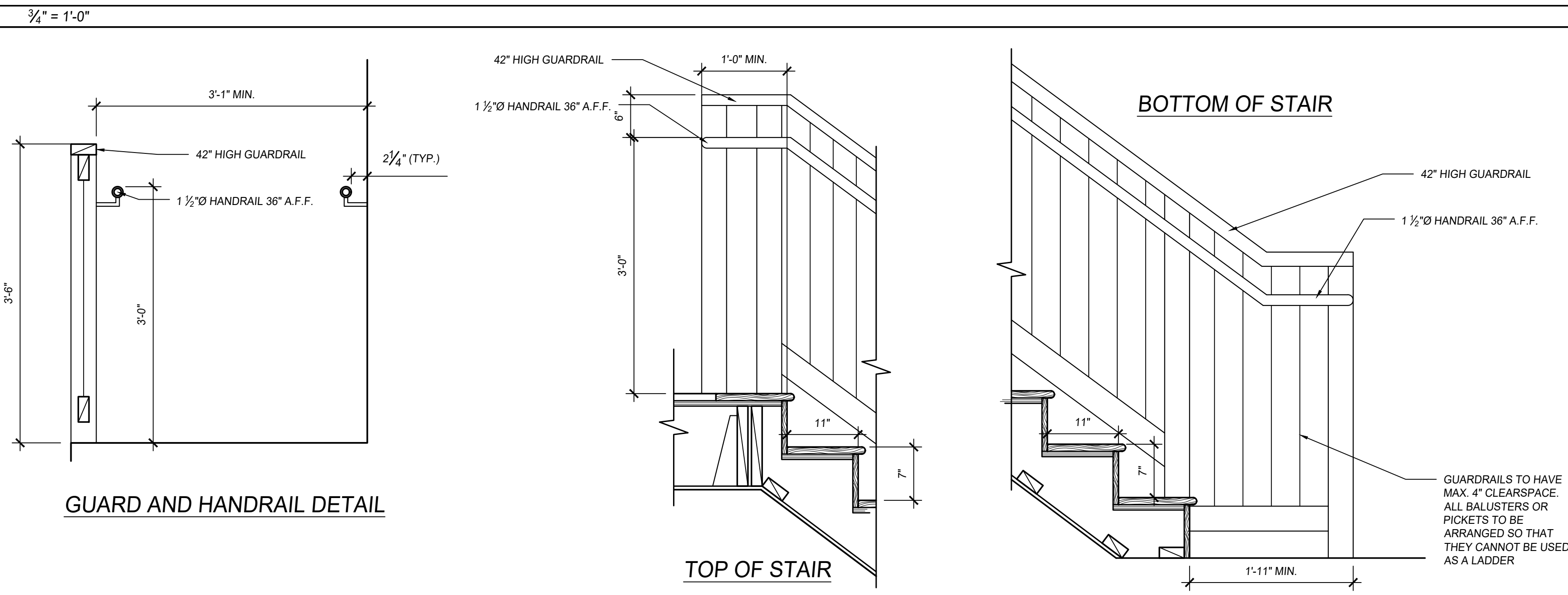
ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE	JAN.	JANITOR
A.B.	ANCHOR BOLT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	LAM	LAMINATE
ALT	ALTERNATE	LAV	LAVATORY
ALU	ALUMINUM	L.P.	LOW POINT
ASPH	ASPHALT	MAX	MAXIMUM
BD	BOARD	MECH	M
BLDG	BUILDING	MIN	MINIMUM
BLKG	BLOCKING	MISC	MISCELLANEOUS
BM	BEAM	M.O.	MASONRY OPENING
BOT	BOTTOM	MTD.	MOUNTED
BS	BOTH SIDES	MTL	METAL
CLG	CEILING	N.I.C.	NOT IN CONTRACT
CLR	CLEAR	NO.	NUMBER
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	O.H.	OVERHEAD
CONTR.	CONTRACTOR	OPNG	OPENING
C.J.	CONTROL JOINT	P.B.C.	PLUMBING CONTRACTOR
C.T.	CERAMIC TILE	PL	PLATE
CTR	CENTER	PLAS	PLASTIC LAMINATE
DBL	DOUBLE	PLWD	PLYWOOD
DIA	DIAMETER	PR	PAIR
DN.	DOWN	PT	PAINTED
DR	DOOR	RAD	RADIUS
DS	DOWNSPOUT	REINF	REINFORCED
DET	DETAIL	REQ'D	REQUIRED
DTL	DETAIL	RESIL	RESILIENT
DWG	DRAWING	RM.	ROOM
EA	EACH	R.O.	ROUGH OPENING
E.C.	ELECTRICAL CONTRACTOR	SIM	SIMILAR
ELEC.	ELECTRICAL	SHTG	SHEATHING
ELEV	ELEVATION/ELEVATOR	SPEC'S	SPECIFICATIONS
E.F.	EACH FACE	SQ.	SQUARE
EQ	EQUAL	STD.	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
EXG.	EXISTING	STRUCT	STRUCTURAL
EXP.	EXPANSION	SUSP.	SUSPENDED CEILING
E.W.	EACH WAY	CLG.	CEILING
E.W.C.	ELECTRICAL WATER COOLER	T.O.B.	TOP OF BEAM
F.B.O.	FURNISHED BY OTHERS	T.O.M.	TOP OF MASONRY
FD	FLOOR DRAIN	T.O.R.	TOP OF RIDGE
FE	FIRE EXTINGUISHER	T.O.P.	TOP OF PLATE
FDN	FOUNDATION	T.O.S.	TOP OF STEEL
FLR	FLOOR	TYP.	TYPICAL
FIN.	FINISH(ED)	U.N.O.	UNLESS NOTED OTHERWISE
FTG	FOOTING	VCT	VINYL COMPOSITION TILE
FURR	FURRING	W	WITH
GA.	GAUGE	WD.	WOOD
GV.	GALVANIZED		
GL	GLASS		
GRD	GRADE		
GPDW	GYPSPUM DRYWALL		
GYP	GYPSPUM		
H.A.C.	HEATING AND A/C CONTRACTOR		
HDWD	HARD WOOD		
H.M.	HOLLOW METAL		
HORIZ	HORIZONTAL		
H.P.	HIGH POINT		
HT.	HEIGHT		
I.D.T.	INSIDE DIMENSION CLEAR		
I.D.	INSIDE DIAMETER		
INSUL	INSULATION		
INT.	INTERIOR		

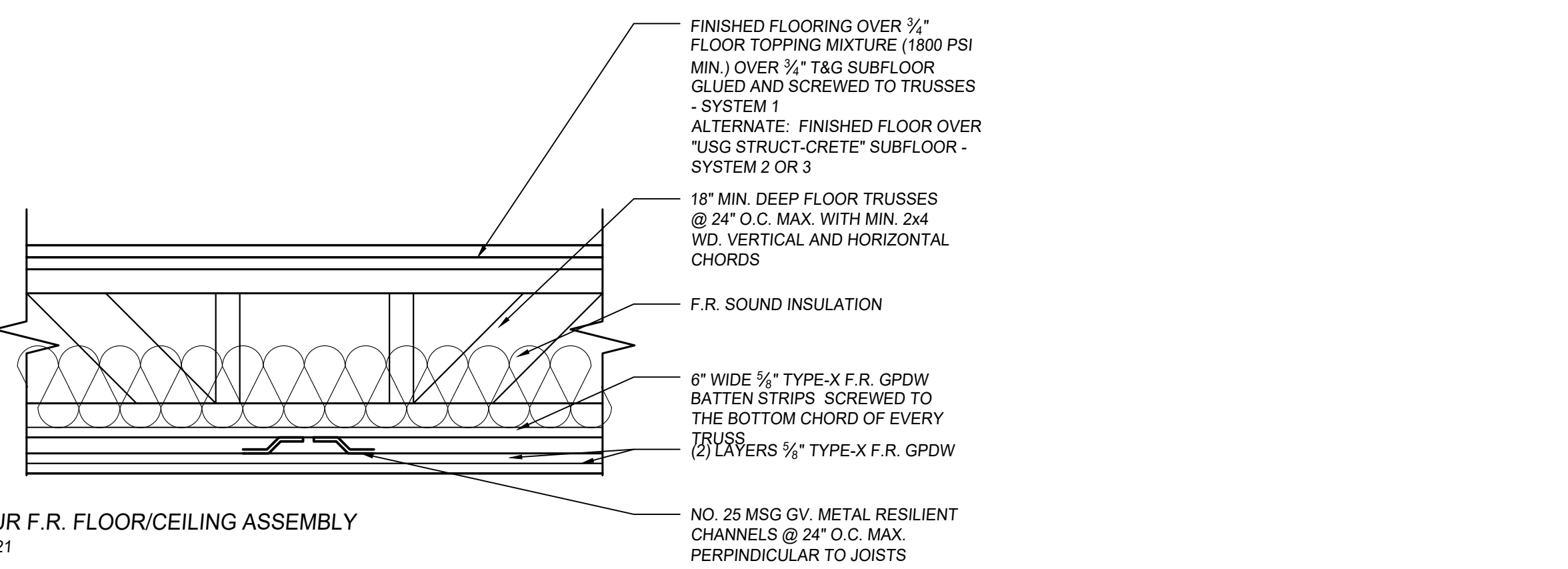
SELECTIVE DEMOLITION

- PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT & SETTLEMENT
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF SELECTIVE DEMOLITION.
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION.
- PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
- WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.
- RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
- PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE WHERE DEMOLISHED WALLS OR PARTITIONS EXTEND ONE FINISHED AREA INTO ANOTHER. PROVIDE A FLUSH AND EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE.
- PATCH, REPAIR, OR REHANG EXISTING CEILINGS AS NECESSARY TO PROVIDE AN EVEN-PLANE SURFACE OF UNIFORM APPEARANCE.
- DISPOSAL - PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
 - DO NOT BURN DEMOLISHED MATERIALS
 - TRANSPORT DEMOLISHED MATERIALS OFF OF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

A3 ADA DETAILS



A2 STAIR DETAILS



A1 FLOOR CEILING ASSEMBLY DETAIL

SHEET INDEX

A-0.01	ADA DETAILS, STAIR DETAILS AND FLOOR/CEILING ASSEMBLY DETAILS
A-1.01	FOUNDATION PLAN AND FIRST FLOOR PLAN
A-1.02	SECOND FLOOR PLAN, WINDOW SCHEDULE AND DOOR SCHEDULE
A-2.01	EXTERIOR ELEVATIONS
A-3.01	F.R. WALL SCHEDULE AND BUILDING SECTION

PROJECT DATA

ARCHITECT: ARCHIOLOGY
 107 S. WASHINGTON ST.
 MILFORD, DELAWARE 19963
 (302) 339-5566

CONTRACTOR: TBD

BUILDING TO BE SPRINKLERED.

BUILDING RISK CATEGORY: II -
 ASCE 7-10 DESIGN WINDSPEED: 121 MPH PER ATCCOUNCIL.ORG
 ASCE 7 DESIGN GROUND SNOW LOAD: 20 PSF
 BUILDING DESIGNED TO RESIST REQUIRED VERTICAL AND LATERAL LOADS

BUILDING CONSTRUCTION TYPE: Vb
 REQUIRED FIRE RESISTANCE RATINGS
 BUILDING STRUCTURAL FRAME: 0 HR
 EXTERIOR BEARING WALLS: 0 HRS
 INTERIOR BEARING WALLS: 2 HRS
 EXTERIOR NON-BEARING WALLS: 0 HRS
 INTERIOR NON-BEARING WALLS: 0 HRS
 FLOOR AND ASSOCIATED SECONDARY MEMBERS: 0 HRS
 ROOF AND ASSOCIATED SECONDARY MEMBERS: 0 HRS.

PROPOSED NEW OCCUPANCY:

FIRST FLOOR:
 -TENANT #1 (MERCANTILE): 379 S.F.
 OCCUPANCY: 379± S.F. / 60 S.F. PER OCCUPANT = 7 OCCUPANTS
 REQUIRED EGRESS CAPACITY: 7 OCCUPANTS x 2' PER OCCUPANT = 1.4' (1 DOORS)
 PROPOSED EGRESS CAPACITY: 64" (2 DOORS)
 MAXIMUM ALLOWABLE EXIT TRAVEL DISTANCE: 100'-0"
 MAXIMUM PROPOSED EXIT TRAVEL DISTANCE: 21'-0"

-TENANT #2 (MERCANTILE): 703± S.F.
 OCCUPANCY: 703± S.F. / 60 S.F. PER OCCUPANT = 12 OCCUPANTS
 REQUIRED EGRESS CAPACITY: 12 OCCUPANTS x 2' PER OCCUPANT = 2.4' (1 DOORS)
 PROPOSED EGRESS CAPACITY: 64" (2 DOORS)
 MAXIMUM ALLOWABLE EXIT TRAVEL DISTANCE: 100'-0"
 MAXIMUM PROPOSED EXIT TRAVEL DISTANCE: 33'-0"

-SECOND FLOOR:
 -APARTMENTS (R-2): 1,137± S.F.
 OCCUPANCY: 1,137± S.F. / 100 S.F. PER OCCUPANT = 12 OCCUPANTS
 REQUIRED EGRESS CAPACITY: 12 OCCUPANTS x 2' PER OCCUPANT = 2.4' (1 DOORS)
 PROPOSED EGRESS CAPACITY: 32" (1 DOOR)

MAXIMUM ALLOWABLE EXIT TRAVEL DISTANCE: 100'-0"
 MAXIMUM PROPOSED EXIT TRAVEL DISTANCE: 70'-7"

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. (VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.)
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE 2012 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE COUNTY OF SUSSEX DELAWARE SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE FROM FACE OF STUDS OR FACE OF MASONRY UNITS UNLESS NOTED OTHERWISE.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY UNITS OR EXPOSED TO THE ENVIRONMENT SHALL BE PRESSURE TREATED WOOD.
- CONTRACTOR SHALL VERIFY THAT EMERGENCY EGRESS WINDOW UNIT IN EACH NEW SLEEPING ROOM IS IN COMPLIANCE WITH THE APPLICABLE BUILDING CODE FOR THIS PROJECT. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING THE WINDOW UNITS.
- PROVIDE BLOCKING OR DOUBLE FLOOR JOIST UNDER ALL WALLS PARALLEL TO JOISTS.
- PROVIDE SOLID BRIDGING AT MID-SPAN FOR JOISTS 10' OR GREATER IN LENGTH.
- PROVIDE DOUBLE JOISTS AROUND ALL FLOOR AND ROOF OPENINGS (UNLESS NOTED OTHERWISE).
- BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 32" BELOW FINISH GRADE OR PER APPLICABLE BUILDING CODE FOR THIS PROJECT (USE GREATER OF THE TWO CONDITIONS).
- CONTRACTOR SHALL NOTIFY MISS UTILITY NOT LESS THAN 2 WORKING DAYS, BUT NOT MORE THAN 10 WORKING DAYS, PRIOR TO EXCAVATION OR DEMOLITION ON THIS PROJECT.
- ALL NEW MATERIALS SHALL BE FREE OF LEAD, ASBESTOS OR MERCURY.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70, NATIONAL FIRE CODES AND NATIONAL ELECTRIC CODE (N.E.C.).
- SHOULD ANY WORDS OR NUMBERS THAT ARE NECESSARY FOR A CLEAR UNDERSTANDING OF THE WORK BE ILLEGIBLE OR OMITTED, OR SHOULD AN ERROR OR DISCREPANCY OCCUR IN ANY OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL CLARIFICATION IS RECEIVED. IN THE EVENT THE CONTRACTOR PROCEEDS WITHOUT SO NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING SAME, INCLUDING ANY RESULTING DAMAGE.
- ALL FLOOR FINISHES TO BE CLASS I OR II
- ALL WALL AND CEILING FINISHES TO BE CLASS A OR B.
- ALL DOOR HARDWARE TO BE NON-KEYED FROM THE EGRESS SIDE NON-FUEL BURNING HVAC LESS THAN 2000 CFM PROPOSED.



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REV.	DATE	DESCRIPTION

CONSTRUCTION DRAWING FOR THE NEW:
MAUREEN ESCHBACH
 KINGS HILLY
 LEWES, SUSSEX COUNTY, DELAWARE

PROJECT #
18377

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COVER SHEET

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 LICENSE NUMBER SS-0007352
 EXPIRATION DATE 01/31/2020

DATE:
09/30/2021

SHEET #
A-0.01

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KINGS HWY.
LEWES, SUSSEX COUNTY, DELAWARE

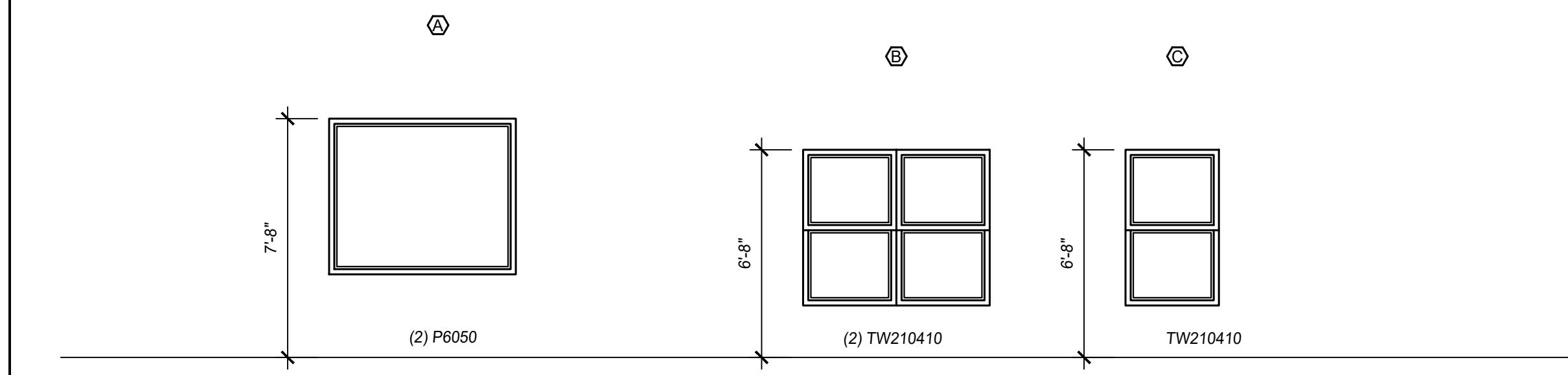
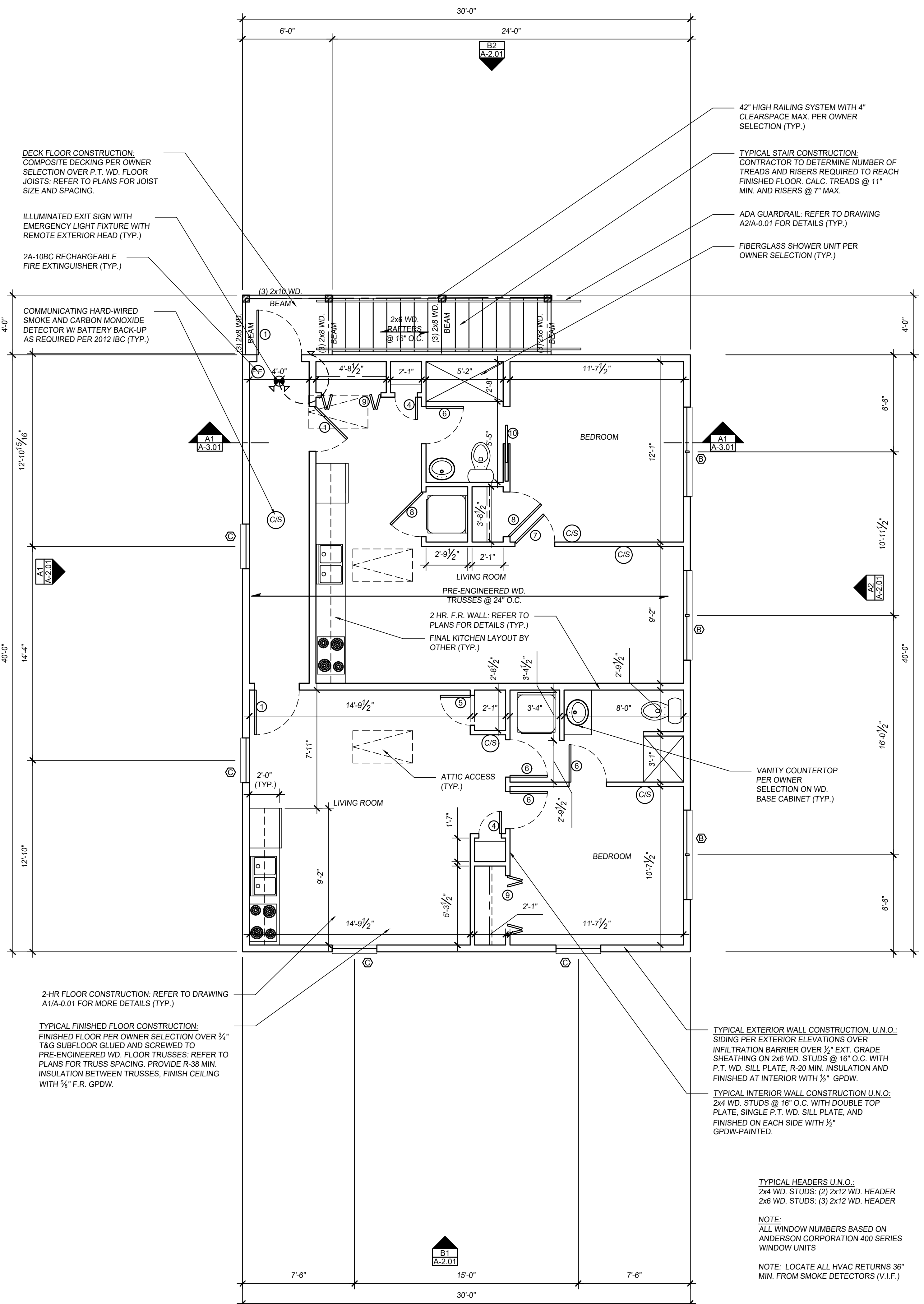
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SECOND FLOOR PLAN AND ROOF PLAN

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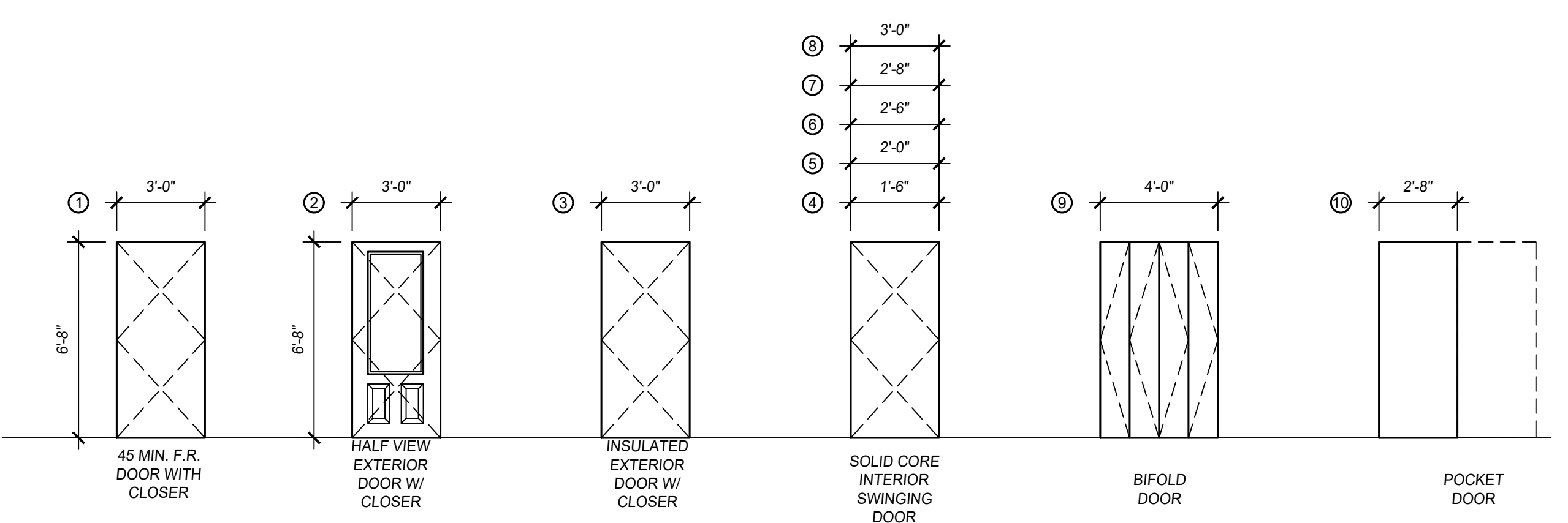
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A-1.02



- WINDOW NOTES:**
1. ALL WINDOW NUMBERS BASED ON ANDERSON CORPORATION 400 SERIES WINDOW UNITS. ROUGH OPENINGS TO BE VERIFIED WITH MANUFACTURER PRIOR TO CONSTRUCTION.
 2. ALL OPERABLE WINDOWS TO HAVE MANUFACTURER SUPPLIED INSECT SCREENS WITH MATCHING FINISHES
 3. ALL HARDWARE STYLES AND FINISHES PER OWNER SELECTION FROM MANUFACTURER'S FULL STANDARD RANGE.
 4. EXTERIOR WINDOW FINISH PER OWNER SELECTION FROM MANUFACTURER'S FULL STANDARD RANGE.
 5. INTERIOR WINDOW FINISH PER OWNER SELECTION FROM MANUFACTURER'S FULL STANDARD RANGE.

B2 WINDOW SCHEDULE

1/4" = 1'-0"



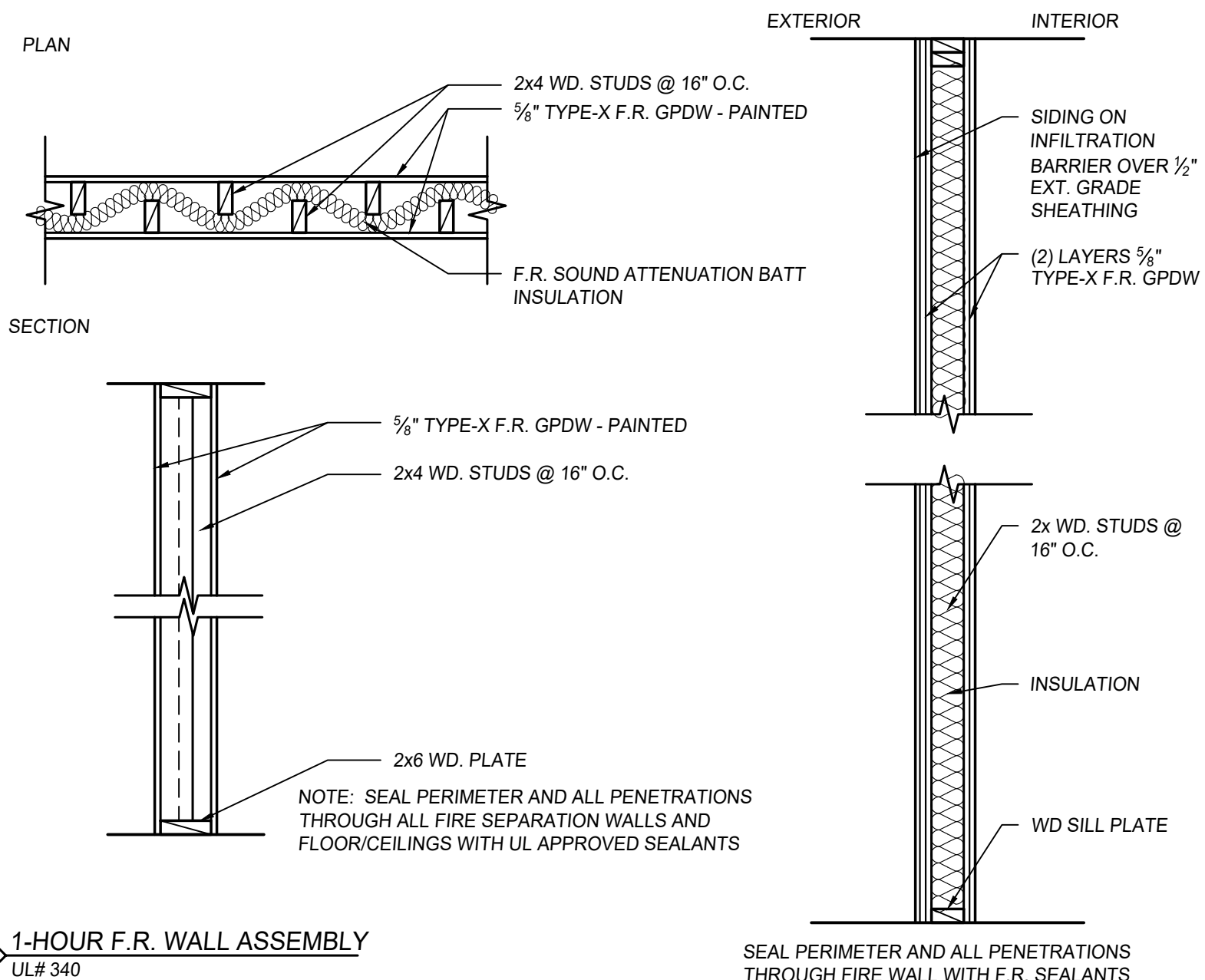
- DOOR NOTES:**
1. ALL HARDWARE STYLES AND FINISHES PER OWNER SELECTION FROM MANUFACTURER'S FULL STANDARD RANGE. ALL DOOR HARDWARE TO BE ADA COMPATIBLE LEVER STYLE HARDWARE.
 2. DOORS TO BE PAINTED PER OWNER COLOR SELECTION.

A1 SECOND FLOOR PLAN

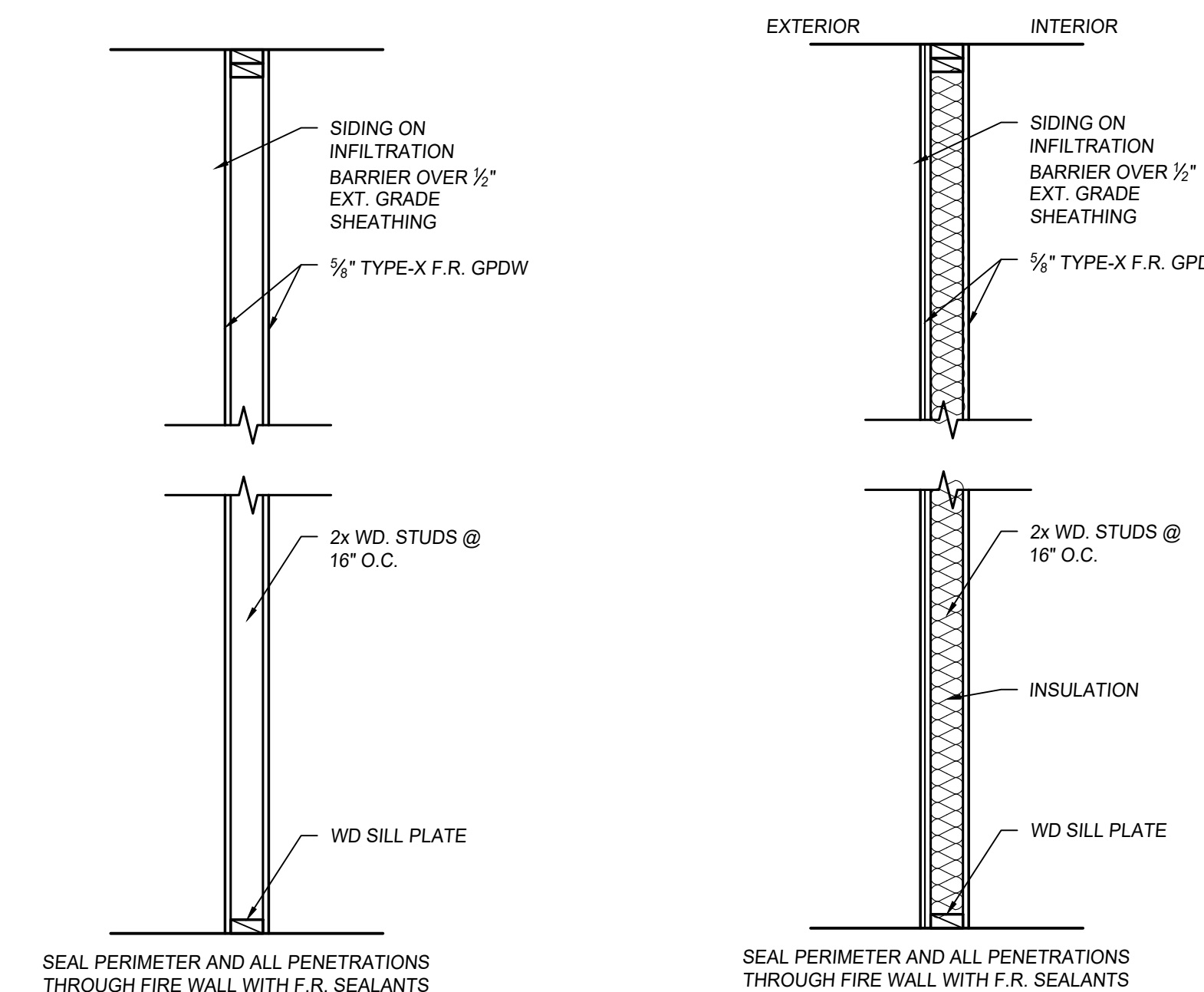
1/4" = 1'-0"

B1 DOOR SCHEDULE

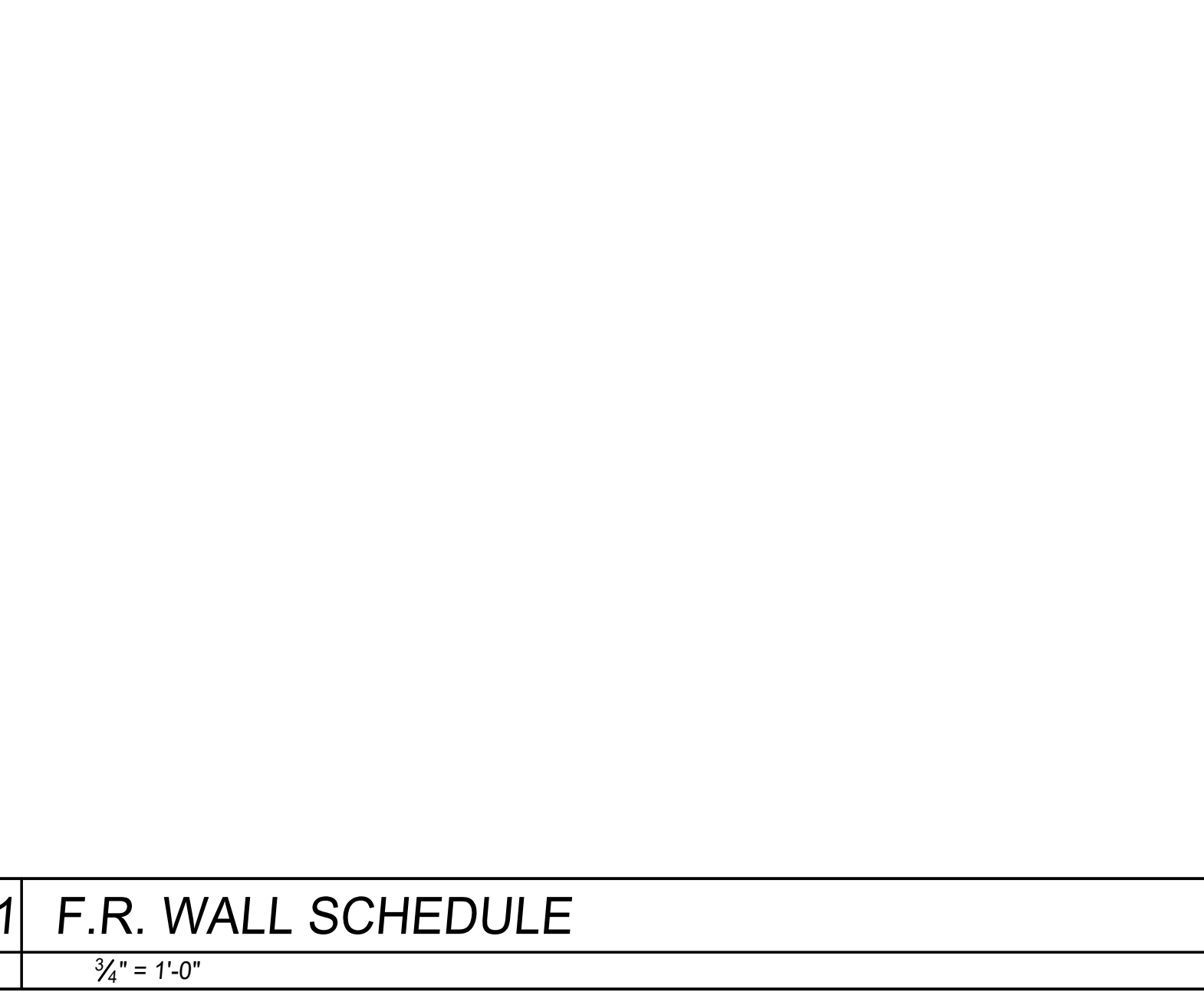
1/4" = 1'-0"



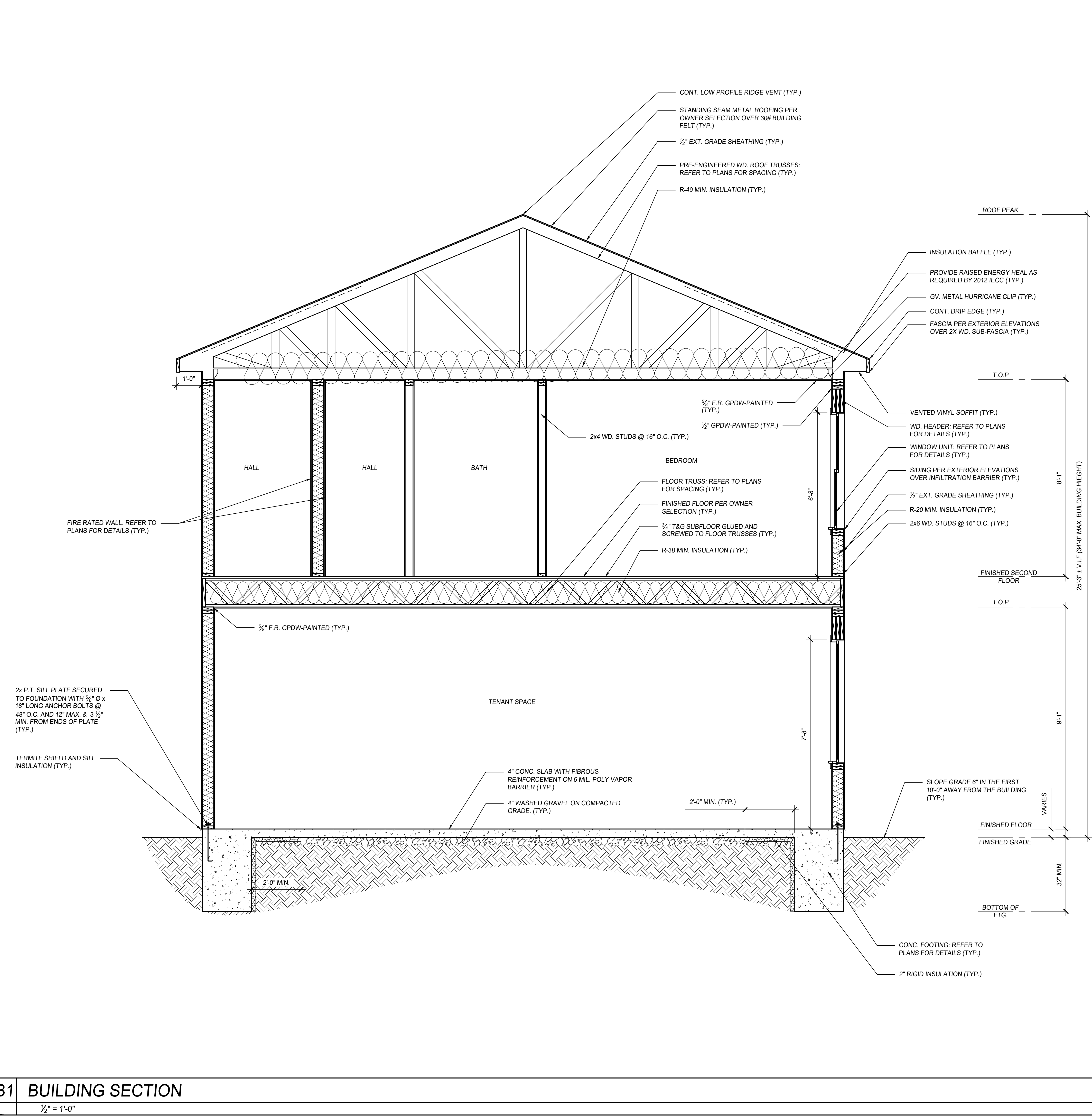
1-HOUR F.R. WALL ASSEMBLY
UL# 340



2-HOUR F.R. WALL ASSEMBLY
UL# 301



1-HOUR F.R. WALL ASSEMBLY
UL# 305



B1 BUILDING SECTION
1/2" = 1'-0"

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MAUREEN ESCHBACH
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F.R. WALL SCHEDULE AND BUILDING SECTION

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